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PAVEMENT LEGEND

ASPHALT PAVEMENT

HEAVY DUTY
ASPHALT PAVEMENT

CONCRETE
PAVEMENT/SIDEWALK

TOWNSHIP OF HOWELL LAND USE NOTES

APPLICANT:	AAFRHW PROPERTY, LLC C/O SETH GERSZBERG 5 TENAFLY ROAD ENGLEWOOD, NEW JERSEY 07631
PARCEL:	BLOCK 177, LOT 8.01 FAIRFIELD ROAD TOWNSHIP OF HOWELL MONMOUTH COUNTY, NEW JERSEY
ZONE:	ZONE: SED (SPECIAL ECONOMIC DEVELOPMENT) ZONE ENVIRONMENTALLY SENSITIVE STATE PLANNING AREA (PA 5) PROPOSED USE: WAREHOUSE - (PERMITTED) (SCHEDULE I) "MULTITENANT STRUCTURES IN THE SED ZONE. ALL STRUCTURES SHALL BE DEVOTED TO A SINGLE USER; PROVIDED, HOWEVER, THAT IN BUILDINGS WITH A GROSS FLOOR AREA IN EXCESS OF 40,000 SQUARE FEET, MULTIPLE TENANTS SHALL BE PERMITTED, PROVIDED THAT THE MINIMUM TENANT SPACE SHALL NOT BE LESS THAN 5,000 SQUARE FEET. (§188-79.8.6) ACCESSORY USES: (A) ACCESSORY USES CUSTOMARILY INCIDENTAL AND ANCILLARY TO A PERMITTED USE. (B) OUTDOOR STORAGE SHALL BE PERMITTED IN A SCREENED REAR YARD ONLY. NO OUTDOOR STORAGE SHALL BE PERMITTED IN ASSOCIATION WITH A MULTIPURPOSE RECREATION AND SPORTS COMPLEX. (§188-79.5.3) EVERY APPLICATION FOR SITE PLAN APPROVAL OR MAJOR SUBDIVISION APPROVAL ON LOTS OF ONE ACRE OR MORE SHALL CONTAIN A FIFTY-FOOT PERIMETER BUFFER OR FARMLAND BUFFER EASEMENT. AS THE CASE MAY BE, SAID BUFFER AREAS ARE REQUIRED ALONG ALL LOT AND STREET LINES SEPARATING RESIDENTIAL USES FROM ARTERIAL AND COLLECTOR STREETS, SEPARATING A NONRESIDENTIAL USE FROM EITHER A RESIDENTIAL USE OR RESIDENTIAL ZONING DISTRICT LINES OR ACTIVE FARMLAND. (§188-63.A)

BULK REQUIREMENTS

ITEM	REQUIRED (SCHEDULE II)	EXISTING	PROPOSED
MINIMUM LOT AREA	120,000 SF	1,966,647 SF (45.15 AC)	1,913,444 SF (43.93 AC)
MINIMUM LOT FRONTAGE	200 FT	1642.7 FT	1642.7 FT
MINIMUM SIDE YARD SETBACK	50 FT OR HEIGHT OF BUILDING, WHICHEVER IS GREATER	N/A	55.1 FT
MINIMUM FRONT YARD SETBACK	60 FT	N/A	119 FT
MINIMUM REAR YARD SETBACK	50 FT	N/A	N/A
MAXIMUM IMPERVIOUS COVERAGE	70%	N/A	47.3% (905,609 SF)
MAXIMUM BUILDING HEIGHT	45 FT	N/A	45 FT *
LOCATION OF ACCESSORY BUILDINGS	IN SIDE OR REAR YARDS ONLY. ACCESSORY BUILDINGS SETBACK AT LEAST TWICE THEIR HEIGHT	N/A	N/A

(V) - VARIANCE
(W) - WAIVER

* BUILDING HEIGHT CALCULATIONS:
BUILDING A: BUILDING HEIGHT: 167.00 (TALLEST POINT) - 122.00 (AVERAGE GRADE, REFER TO GRADING PLAN) = 45 FT
BUILDING B: BUILDING HEIGHT: 167.00 (TALLEST POINT) - 122.13 (AVERAGE GRADE, REFER TO GRADING PLAN) = 44.87 FT

MULTIPLE BUILDING USE REQUIREMENTS

ONLY ONE PRINCIPAL BUILDING MAY BE ERRECTED ON A LOT EXCEPT FOR RELATED COMPATIBLE BUILDINGS CONSTITUTING ONE BASIC USE OR OPERATION UNDER ONE MANAGEMENT. THIS EXCEPTION SHALL BE LIMITED TO THE FOLLOWING USES: D. INDUSTRIAL OR MANUFACTURING BUILDING COMPLEXES (§188-56)

SHOPPING CENTERS AND OFFICE COMPLEXES AND INDUSTRIAL COMPLEXES MAY HAVE MORE THAN ONE BUILDING ON A LOT AND MORE THAN ONE PERMITTED USE WITHIN A BUILDING IN THE NC, HC, HD-1, HD-2 AND SED ZONES, EXCEPT AS LIMITED IN THE SPECIFIC PROVISIONS OF THOSE ZONES. (§188-61.A)

WHERE LOTS ARE NOT SUBDIVIDED, BUT SEPARATE PORTIONS OF THE TRACT ARE LEASED, EACH LEASE PORTION OF THE TRACT SHALL BE DESIGNED IN ACCORDANCE WITH THE ZONING PROVISIONS AS THOUGH THEY WERE SEPARATE LOTS WITH ONE PRINCIPAL USE PER LOT. (§188-61.B)

PARKING REQUIREMENTS

REQUIRED PARKING SPACE SIZE (§188-107.A): 9 FT X 19 FT OR 10 FT X 19 FT; 9 FT X 19 FT PROPOSED

PARKING REQUIREMENTS (§188-107.C):

WAREHOUSE A = 1 SPACE FOR EACH 5,000 SF OF GFA =

349,242 SF X (1 SPACE / 5,000 SF) = 69.8 SPACES

OFFICE A = 1 SPACE FOR EACH 300 SF OF GFA =

20,000 SF X (1 SPACE / 300 SF) = 66.7 SPACES

WAREHOUSE B = 124,714 SF X (1 SPACE / 5,000 SF) = 24.9 SPACES

OFFICE B = 10,000 SF X (1 SPACE / 300 SF) = 33.3 SPACES

TOTAL REQUIRED SPACES = 196 SPACES

TOTAL PROPOSED = 196 SPACES

ACCESS TO LOTS WITH MORE THAN 10 SPACES. THERE SHALL BE A MAXIMUM OF TWO ACCESS DRIVES TO ANY STREET WITH THEIR CENTER LINES SPACED AT LEAST 56 FEET APART. WITH NO MORE THAN TWO LANES OF TRAFFIC EACH, AND WITH THEIR CENTER LINES AT LEAST 30 FEET FROM ANY PROPERTY LINE. WHEN THE PROPERTY ALONG A STREET EXCEEDS 500 FEET IN LENGTH, ONE ACCESS DRIVE MAY BE PERMITTED FOR EACH 250 FEET OF FRONTAGE. DRIVEWAYS WITH WIDTHS EXCEEDING 24 FEET SHALL BE APPROVED BY THE PLANNING BOARD GIVING CONSIDERATION TO THE WIDTH, CURBING, TRAFFIC FLOW, RADIUS OF CURVES, AND TRAFFIC LINE DIVIDER. (§188-106.A)

ALL MAIN DRIVEWAYS INTO COMMERCIAL AND/OR INDUSTRIAL AREAS SHALL BE A MINIMUM OF 30 FEET WIDE, OR AS CONTROLLED BY OUTSIDE AGENCIES, ON INDUSTRIAL AND COMMERCIAL APPLICATIONS. A THIRTY-FOOT-WIDE CIRCULATION AISLE MUST BE MAINTAINED FOR EMERGENCY PURPOSES. (§188-106.F.1.a)

ALL AISLES OTHER THAN THE MAIN DRIVEWAYS INTO COMMERCIAL AND/OR INDUSTRIAL AREAS SHALL BE A MINIMUM OF 25 FEET WIDE. (§188-106.F.1.b)

NO OFF-STREET LOADING AND MANEUVERING AREA SHALL BE LOCATED IN ANY FRONT YARD NOR REQUIRE ANY PART OF A STREET. (§188-106.1)

NO LOADING AND PARKING SPACES SHALL BE LOCATED IN ANY REQUIRED BUFFER AREA. (§188-106.1.3)

PARKING SPACES FOR APARTMENT/TOWNHOUSES AND FOR COMMERCIAL/INDUSTRIAL USES SHALL BE WITHIN 150 FEET AND 300 FEET, RESPECTIVELY, OF THE ENTRANCE OF THE BUILDING BEING SERVED. (§188-106.1.4)

NO PARKING SHALL BE PERMITTED IN DESIGNATED FIRE LANES, STREETS, DRIVEWAYS, AISLES, SIDEWALKS OR TURNING AREAS. (§188-106.1.5)

FOR 90° PARKING, A 25 FT DRIVE IS REQUIRED FOR 9 FT SPACES AND 22 FT FOR 10 FT SPACES. (§188-107.A)

BICYCLE PARKING FACILITIES SHALL BE INSTALLED WHEREVER SIGNIFICANT ATTRACTORS ARE ESTABLISHED, INCLUDING BUT NOT LIMITED TO FOOD STORES, EDUCATIONAL USES, AND SHOPPING CENTERS. THE NUMBER OF SPACES FOR BICYCLES SHALL BE EQUAL TO AT LEAST 10% OF THE TOTAL REQUIRED NUMBER OF PARKING SPACES FOR THE FIRST 100 SPACES AND 2% THEREAFTER. BICYCLE PARKING FACILITIES OR AREAS SHALL HAVE A MINIMUM CAPACITY OF SIX BICYCLES AND SHALL BE DESIGNED TO PROVIDE SECURE ANCHORING FOR LOCKING DEVICES. IF LOCATED IN PARKING LOTS, BICYCLE FACILITIES OR AREAS SHALL BE PRIMARILY LOCATED IN THE ONE-THIRD OF THE PARKING LOT LOCATED CLOSEST TO THE BUILDING. IF LOCATED ON SIDEWALKS, THE BICYCLE PARKING SHALL BE LOCATED ADJACENT TO A BUILDING ENTRANCE(S). BICYCLE PARKING SHALL ALWAYS BE LOCATED OUTSIDE OF TRAVEL WAYS FOR MOTORIZED VEHICLES AND PEDESTRIANS. (§188-107.E)

WAREHOUSE A: 10 SPACES + (2 % X 86 SPACES) = 11.76 BICYCLE SPACES

WAREHOUSE B: 10 % X 72 SPACES = 7.2 BICYCLE SPACES

TOTAL REQUIRED BICYCLE PARKING: 20 BICYCLE SPACES

TOTAL PROPOSED BICYCLE PARKING: 21 BICYCLE SPACES

COMMERCIAL PARKING SPACES AND/OR ASSOCIATED DRIVEWAYS SHALL BE LOCATED A MINIMUM OF 50 FEET FROM ANY SIDE OR REAR PROPERTY LINE WHICH ADJUTS A RESIDENTIAL USE. (§188-226.B)

LOADING REQUIREMENTS

NO OFF-STREET LOADING AND MANEUVERING AREA SHALL BE LOCATED IN ANY FRONT YARD NOR REQUIRE ANY PART OF A STREET. (§188-106.1.1)

LOADING SPACES SHALL ADJUT THE BUILDING BEING SERVED, AND BE LOCATED TO DIRECTLY SERVE THE BUILDING FOR WHICH THE SPACE IS BEING PROVIDED. (§188-106.1.2)

THE MINIMUM AISLE WIDTH IS 72 FT FOR 10 FT WIDE LOADING SPACES, 63 FT FOR 12 FT WIDE SPACES AND 60 FT FOR 14 FT WIDE SPACES. (§188-107.A.1)

LOADING REQUIREMENTS (§188-107.A.1):

LOADING SPACE SIZE: 10 FT X 60 FT, 12 FT X 60 FT OR 14 FT X 60 FT; 13.5 FT X 60 FT PROPOSED

WAREHOUSE A = 1 SPACE FOR FIRST 5,000 SF + 1 SPACE FOR 40,000 SF + 1 ADDITIONAL SPACE FOR EVERY 30,000 SF =

2 SPACES = (349,242 - 45,000 SF) X (1 SPACE / 30,000 SF) = 12.1 SPACES

WAREHOUSE B = 2 SPACES + (124,714 SF - 45,000 SF) X (1 SPACE / 30,000 SF) = 4.7 SPACES

OFFICE A = 1 SPACE FOR FIRST 10,000 SF + 1 SPACE FOR 10,000 SF + 1 ADDITIONAL SPACE PER EVERY 10,000 SF =

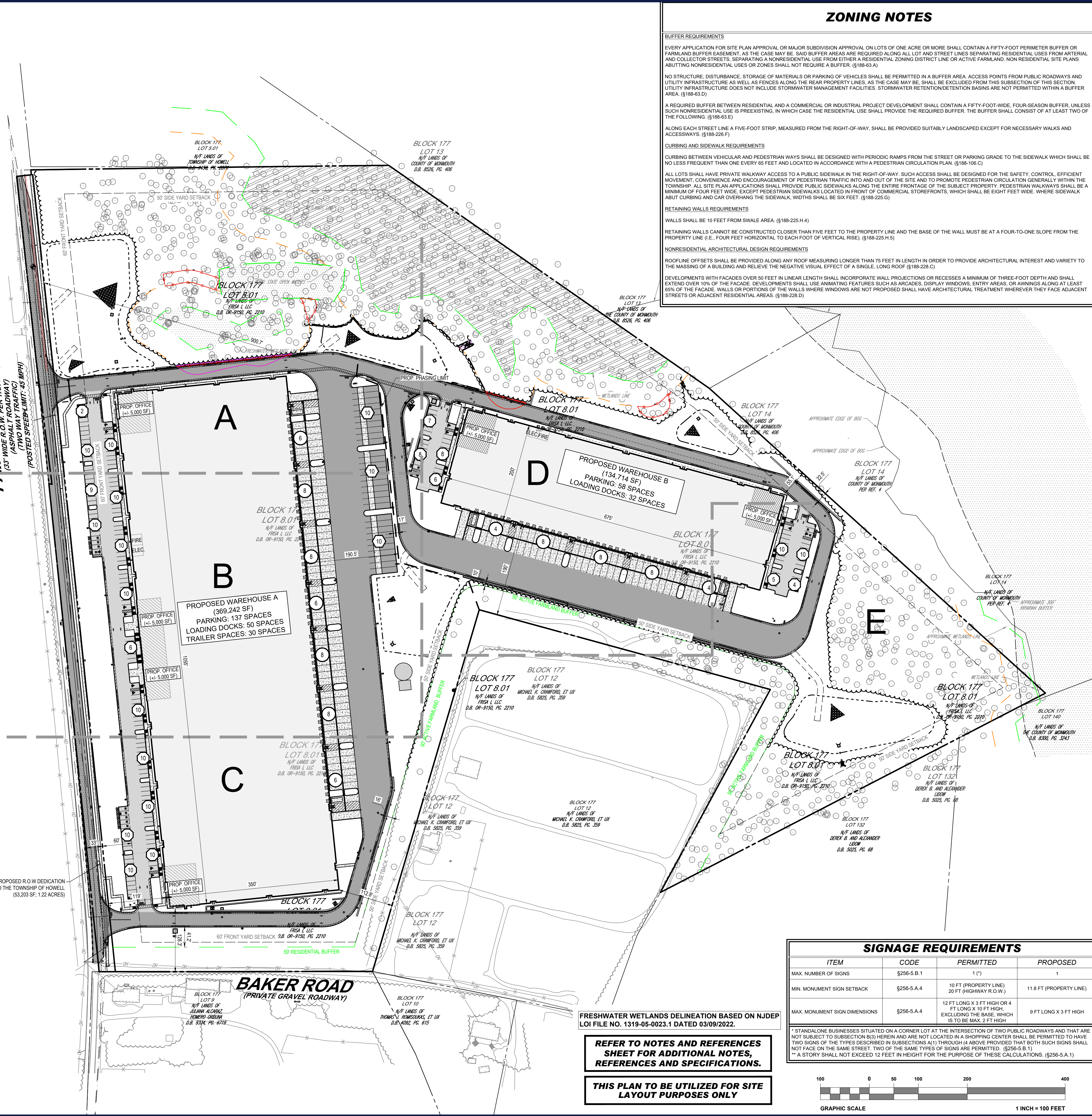
2 SPACES REQUIRED

OFFICE B = 1 SPACE FOR FIRST 10,000 SF + 1 SPACE FOR 10,000 SF + 1 ADDITIONAL SPACE PER EVERY 10,000 SF =

1 SPACE REQUIRED

REQUIRED LOADING SPACES = 19.8 SPACES
PROPOSED LOADING SPACES = 19 SPACES

FAIRFIELD ROAD
(33' WIDE R.O.W. PER TALK MAP)
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)
(POSTED SPEED LIMIT: 45 MPH)



ZONING NOTES

BUFFER REQUIREMENTS

EVERY APPLICATION FOR SITE PLAN APPROVAL OR MAJOR SUBDIVISION APPROVAL ON LOTS OF ONE ACRE OR MORE SHALL CONTAIN A FIFTY-FOOT PERIMETER BUFFER OR FARMLAND BUFFER EASEMENT, AS THE CASE MAY BE. SAID BUFFER AREAS ARE REQUIRED ALONG ALL LOT AND STREET LINES SEPARATING RESIDENTIAL USES FROM ARTERIAL AND COLLECTOR STREETS, SEPARATING A NONRESIDENTIAL USE FROM EITHER A RESIDENTIAL ZONING DISTRICT LINE OR ACTIVE FARMLAND. NON RESIDENTIAL SITE PLANS ABUTTING NONRESIDENTIAL USES OR ZONES SHALL NOT REQUIRE A BUFFER. (§188-63.A)

NO STRUCTURE, DISTURBANCE, STORAGE OF MATERIALS OR PARKING OF VEHICLES SHALL BE PERMITTED IN A BUFFER AREA. ACCESS POINTS FROM PUBLIC ROADWAYS AND UTILITY INFRASTRUCTURE AS WELL AS FENCES ALONG THE REAR PROPERTY LINES, AS THE CASE MAY BE, SHALL BE EXCLUDED FROM THIS SUBSECTION OF THIS SECTION. UTILITY INFRASTRUCTURE DOES NOT INCLUDE STORMWATER MANAGEMENT FACILITIES. STORMWATER RETENTION/DETENTION BASINS ARE NOT PERMITTED WITHIN A BUFFER AREA. (§188-63.D)

A REQUIRED BUFFER BETWEEN RESIDENTIAL AND A COMMERCIAL OR INDUSTRIAL PROJECT DEVELOPMENT SHALL CONTAIN A FIFTY-FOOT-WIDE, FOUR-SEASON BUFFER, UNLESS SUCH NONRESIDENTIAL USE IS PREEXISTING, IN WHICH CASE THE RESIDENTIAL USE SHALL PROVIDE THE REQUIRED BUFFER. THE BUFFER SHALL CONSIST OF AT LEAST TWO OF THE FOLLOWING. (§188-63.E)

ALONG EACH STREET LINE A FIVE-FOOT STRIP, MEASURED FROM THE RIGHT-OF-WAY, SHALL BE PROVIDED SUITABLY LANDSCAPED EXCEPT FOR NECESSARY WALKS AND ACCESSWAYS. (§188-226.F)

CURBING AND SIDEWALK REQUIREMENTS

CURBING BETWEEN VEHICULAR AND PEDESTRIAN WAYS SHALL BE DESIGNED WITH PERIODIC RAMPS FROM THE STREET OR PARKING GRADE TO THE SIDEWALK WHICH SHALL BE NO LESS FREQUENT THAN ONE EVERY 65 FEET AND LOCATED IN ACCORDANCE WITH A PEDESTRIAN CIRCULATION PLAN. (§188-186.C)

ALL LOTS SHALL HAVE PRIVATE WALKWAY ACCESS TO A PUBLIC SIDEWALK IN THE RIGHT-OF-WAY. SUCH ACCESS SHALL BE DESIGNED FOR THE SAFETY, CONTROL, EFFICIENT MOVEMENT, CONVENIENCE AND ENCOURAGEMENT OF PEDESTRIAN TRAFFIC INTO AND OUT OF THE SITE AND TO PROMOTE PEDESTRIAN CIRCULATION GENERALLY WITHIN THE TOWNSHIP. ALL SITE PLAN APPLICATIONS SHALL PROVIDE PUBLIC SIDEWALKS ALONG THE ENTIRE FRONTAGE OF THE SUBJECT PROPERTY. PEDESTRIAN WALKWAYS SHALL BE A MINIMUM OF FOUR FEET WIDE, EXCEPT PEDESTRIAN SIDEWALKS LOCATED IN FRONT OF COMMERCIAL STOREFRONTS, WHICH SHALL BE EIGHT FEET WIDE. WHERE SIDEWALK ABUT CURBING AND CAR OVERHANG THE SIDEWALK, WIDTHS SHALL BE SIX FEET. (§188-225.G)

RETAINING WALLS REQUIREMENTS

WALLS SHALL BE 10 FEET FROM SWALE AREA. (§188-225.H.4)

RETAINING WALLS CANNOT BE CONSTRUCTED CLOSER THAN FIVE FEET TO THE PROPERTY LINE AND THE BASE OF THE WALL MUST BE AT A FOUR-TO-ONE SLOPE FROM THE PROPERTY LINE (I.E. FOUR FEET HORIZONTAL TO EACH FOOT OF VERTICAL RISE). (§188-225.H.5)

NONRESIDENTIAL ARCHITECTURAL DESIGN REQUIREMENTS

ROOFLINE OFFSETS SHALL BE PROVIDED ALONG ANY ROOF MEASURING LONGER THAN 75 FEET IN LENGTH IN ORDER TO PROVIDE ARCHITECTURAL INTEREST AND VARIETY TO THE MASSING OF A BUILDING AND RELIEVE THE NEGATIVE VISUAL EFFECT OF A SINGLE, LONG ROOF (§188-228.C)

DEVELOPMENTS WITH FACADES OVER 50 FEET IN LINEAR LENGTH SHALL INCORPORATE WALL PROJECTIONS OR RECESSES A MINIMUM OF THREE-FOOT DEPTH AND SHALL EXTEND OVER 10% OF THE FACADE. DEVELOPMENTS SHALL USE ANIMATING FEATURES SUCH AS ARCADES, DISPLAY WINDOWS, ENTRY AREAS, OR AWNINGS ALONG AT LEAST 65% OF THE FACADE. WALLS OR PORTIONS OF THE WALLS WHERE WINDOWS ARE NOT PROPOSED SHALL HAVE ARCHITECTURAL TREATMENT WHEREVER THEY FACE ADJACENT STREETS OR ADJACENT RESIDENTIAL AREAS. (§188-228.D)



REVISIONS

REV	DATE	COMMENT	REVISION BY	DRAWN BY
1	07/15/2022	REV. PER CLIENT COMMENTS	TXL	CRAVLM
11	08/17/2022	REV. PER UTILITY UPDATES	TXL	CRA
12	09/06/2022	REV. PER SCD COMMENTS	VLM	VLM
13	10/18/2022	REV. PER SCD COMMENTS	VLM	VLM
14	10/31/2022	REV. PER NJDEP COMMENTS	TXL	VLM
15	11/07/2022	REV. PER SCD COMMENTS	TXL	VLM
16	12/02/2022	REV. PER TOWNSHIP COMMENTS	JPW	TXL
17	12/14/2022	REV. PER TOWNSHIP SEWER COMMENTS	TXL	TXL
18	01/20/2023	REV. PER CLIENT COMMENTS	CRA	TXL



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ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: J210800
DRAWN BY: TOLBMO
CHECKED BY: TXL
DATE: 11/02/2024
CAD ID: J210800-SITE-18A

PROJECT:

PRELIMINARY & FINAL MAJOR SITE PLAN

FOR
AAFRHW PROPERTY, LLC

PROPOSED WAREHOUSES
SED ZONE
MAP: 8.16 | BLK: 177 | LOT: 8.01
FAIRFIELD ROAD
TOWNSHIP OF HOWELL
MONMOUTH COUNTY, NEW JERSEY



30 INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059
Phone: (908) 665-8300
Fax: (908) 754-4401
www.BohlerEngineering.com
NJ CERT. OF AUTHORIZATION NO. 246A28167100 & M0000122

T. LAM

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 47863
NEW YORK LICENSE No. 092942
CONNECTICUT LICENSE No. 30024
PENNSYLVANIA LICENSE No. 76746

SHEET TITLE:

OVERALL SITE LAYOUT PLAN

SHEET NUMBER:

C-301

REVISION 18 - 01/20/2023

FRESHWATER WETLANDS DELINEATION BASED ON NJDEP
LOI FILE NO. 1319-05-0023.1 DATED 03/09/2022.

REFER TO NOTES AND REFERENCES
SHEET FOR ADDITIONAL NOTES,
REFERENCES AND SPECIFICATIONS.

THIS PLAN TO BE UTILIZED FOR SITE
LAYOUT PURPOSES ONLY

ITEM	CODE	PERMITTED	PROPOSED
MAX. NUMBER OF SIGNS	\$256-5.B.1	1 (*)	1
MIN. MONUMENT SIGN SETBACK	\$256-5.A.4	10 FT (PROPERTY LINE) 20 FT (HIGHWAY R.O.W.)	11.8 FT (PROPERTY LINE)
MAX. MONUMENT SIGN DIMENSIONS	\$256-5.A.4	12 FT LONG X 3 FT HIGH OR 4 FT LONG X 10 FT HIGH, EXCLUDING THE BASE, WHICH IS TO BE MAX. 2 FT HIGH	9 FT LONG X 3 FT HIGH

* STANDALONE BUSINESSES SITUATED ON A CORNER LOT AT THE INTERSECTION OF TWO PUBLIC ROADWAYS AND THAT ARE NOT SUBJECT TO SUBSECTION (B) HEREIN AND ARE NOT LOCATED IN A SHOPPING CENTER SHALL BE PERMITTED TO HAVE TWO SIGNS OF THE TYPES DESCRIBED IN SUBSECTIONS A(1) THROUGH (4) ABOVE PROVIDED THAT BOTH SUCH SIGNS SHALL NOT FACE ON THE SAME STREET. TWO OF THE SAME TYPES OF SIGNS ARE PERMITTED. (\$256-5.B.1)
* A STORY SHALL NOT EXCEED 12 FEET IN HEIGHT FOR THE PURPOSE OF THESE CALCULATIONS. (\$256-5.A.1)

