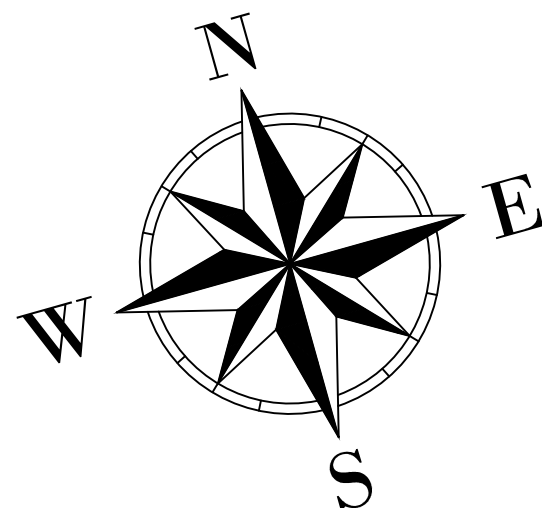


NEW JERSEY STATE HIGHWAY ROUTE 33  
(R.O.W. VARIES)



PCD — PLANNED COMMERCIAL DEVELOPMENT ZONE REQUIREMENTS

	REQUIRED	PROVIDED
MINIMUM LOT AREA	20 ACRES	20 ACRES
MINIMUM LOT WIDTH	800 FT.	845 FT.
MINIMUM LOT FRONTAGE	800 FT.	864 FT.
MINIMUM LOT DEPTH	400 FT.	1,137 FT.
MINIMUM FRONT YARD SETBACK	100 FT.	141 FT.
MINIMUM REAR YARD SETBACK	75 FT.	980 FT.
MINIMUM SIDE YARD SETBACK	50 FT.	121 FT.
MINIMUM COMBINED SIDE YARD SETBACK	125 FT.	390 FT.
MINIMUM ACCESSORY SIDE YARD SETBACK	50 FT.	N/A
MINIMUM ACCESSORY REAR YARD SETBACK	75 FT.	N/A
MAXIMUM BUILDING HEIGHT	30 FT. / 2 STORIES	32.9 FT. / 1 STORY *
MAXIMUM LOT COVERAGE	50%	29.7%
MAXIMUM BUILDING COVERAGE	15%	15.0%
MAXIMUM BUILDING FLOOR AREA RATIO	0.15	0.15
MINIMUM BUILDING SETBACK FROM RESIDENTIAL ZONE	300 FT.	1,000 FT.
MAXIMUM BUFFER TO RESIDENTIAL ZONE	25% OF LOT DEPTH OR 150 FT. (WHICHEVER IS GREATER)	N/A

\* - C VARIANCE REQUIRED

(1) MAXIMUM BUILDING HEIGHT = 30 FT., 32.9 FEET PROVIDED.

PARKING REQUIREMENTS

	REQUIRED	PROVIDED
1 SPACE PER 5,000 SQ. FT. WAREHOUSE	25 SPACES	
1 SPACE PER 200 SQ. FT. OFFICE	30 SPACES	
TOTAL	55 SPACES	83 SPACES

ESTIMATED AVERAGE DAILY SEWERAGE FLOW

USE	SIZE	UNIT FLOW	FLOW (GPD)
OFFICE	6,000 SQ. FT.	0.125	750
WAREHOUSE	124,242 SQ. FT.		
	25 1ST SHIFT / 1 PER 5,000 SQ. FT.	15	375
	25 2ND SHIFT / 1 PER 5,000 SQ. FT.	15	375
TOTAL			1,500 GPD

SIGN REQUIREMENTS

	REQUIRED	PROVIDED
MAXIMUM SIZE	96 SQ. FT.	96 SQ. FT.
MINIMUM SETBACK	15 FT.	15 FT.
MAXIMUM HEIGHT	35 FT.	35 FT.

LEGEND

EXISTING EDGE OF PAVEMENT	=====
EXISTING CURB	=====
EXISTING DEPRESSED CURB	=====
PROPOSED CURB	=====
PROPOSED DEPRESSED CURB	=====
EXISTING WOODLINE	~~~~~
PROPOSED WOODLINE	~~~~~
PROPOSED PAINTED STOP BAR	STOP
PROPOSED HANDICAP RAMP	O/H
PROPOSED OVERHEAD DOOR	O/H
PROPOSED BUILDING I.D. SIGN	=====
PROPOSED STOP BAR	STOP
PROPOSED 4" PAINTED YELLOW LINE	=====
PROPOSED RETAINING WALL	=====
PROPOSED FENCE	=====
FRESHWATER WETLANDS	~~~~~

FIRE BUREAU NOTES

- Fire lanes shall be designate to provided efficient and effective operation of fire apparatus. Fire lanes shall be marked as follows:
  - Fire lanes shall be a minimum eighteen feet (18') in width.
  - Signs shall be posted a maximum of seventy-five feet (75') apart and shall read "NO PARKING FIRE LANE".
  - Hard surface streets/roads or driveways shall display the wording "NO PARKING FIRE LANE".
  - The wording shall be a minimum of one hundred feet (100') apart and alternate in both directions of travel.
  - The letters shall be a minimum of twenty-four inches (24") high with a minimum of four-inch (4") stroke, using traffic paint.
- Install a Knox Rapid Entry System box on the exterior of the building to allow Fire Department access after normal business hours.
- Consult with the Fire Bureau and Fire Department before installing the Fire Department Connection (if required).

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NO.	DATE	DESCRIPTION	BY
8	9/27/22	REVISED BUILDING LOCATION	SDC
7	8/22/22	REVISED PER MILLSTONE TOWNSHIP PLANNING BOARD	SDC
6	8/22/22	REVISED TO SHOW LIGHTING LEVELS TO PROPERTY LINES	SDC
5	6/23/22	REVISED PER MILLSTONE TOWNSHIP SHADE TREE COMMISSION & AVAKIAN	SDC
4	3/22/22	REVISED PER CLIENT	SDC
3	2/23/22	ADDED GRASSPAVE ACCESS DRIVE	SDC
2	01/26/22	REVISED LAYOUT	SDC
1	11/16/21	REVISED PER MILLSTONE TOWNSHIP PLANNING BOARD ENGINEER	SDC
NO.	DATE	DESCRIPTION	BY

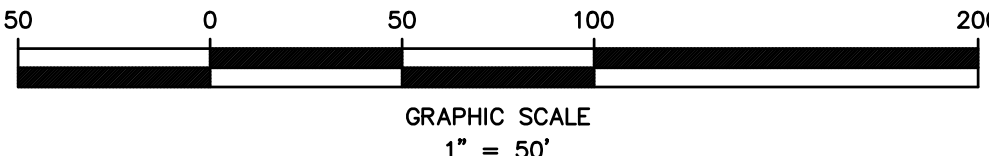
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PROFESSIONAL DESIGN SERVICES, L.L.C.  
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NEW JERSEY STATE BOARD OF P.E. & L.S.  
CERTIFICATE OF AUTHORIZATION NO. 246A28125400  
WILLIAM A. STEVENS, P.E., P.P.  
PROFESSIONAL ENGINEER, NEW JERSEY, LICENSE #38915  
PROFESSIONAL PLANNER, NEW JERSEY, LICENSE #5384

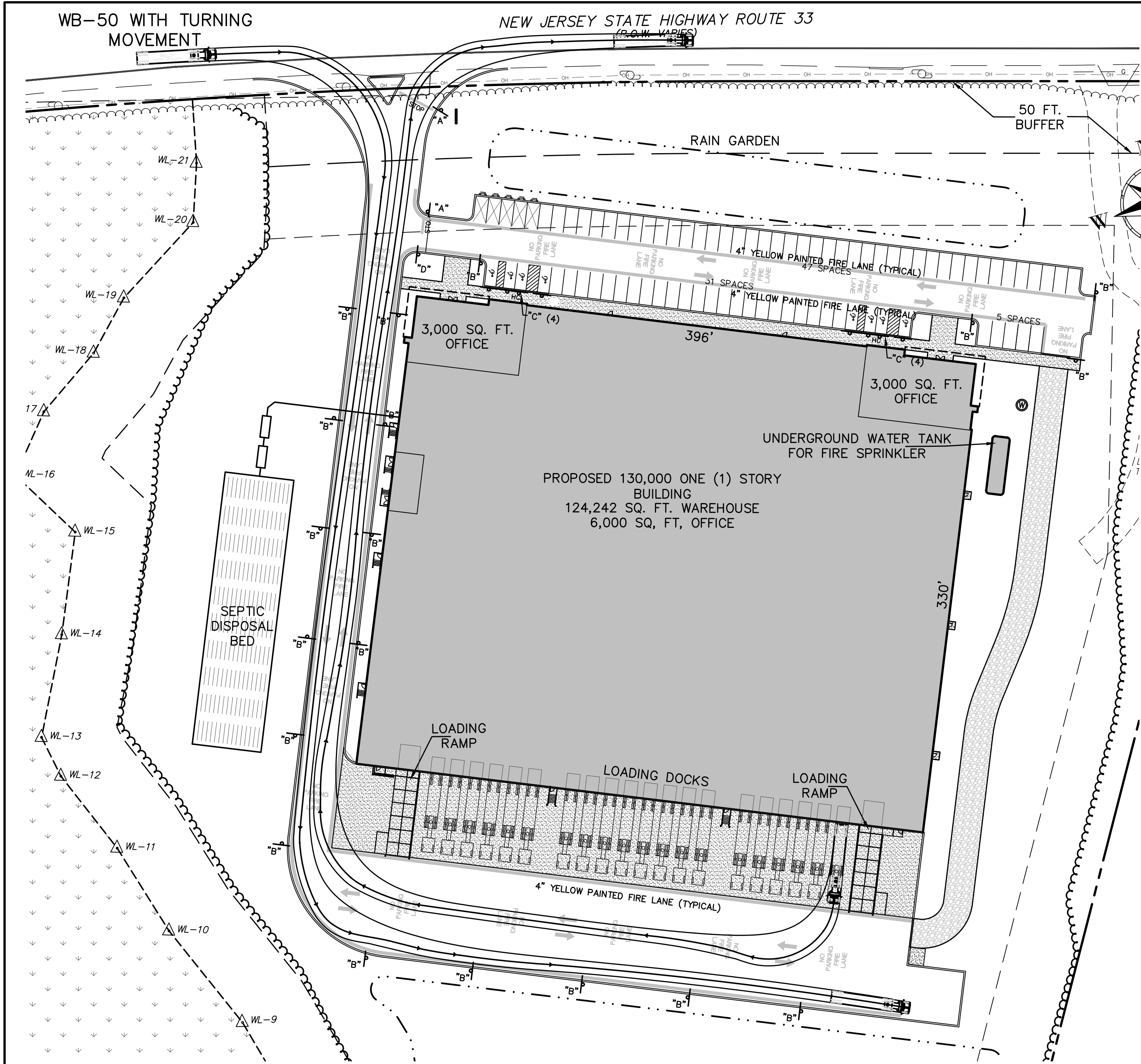
PRELIMINARY & FINAL MAJOR SITE PLAN  
SITE PLAN

BLOCK 23 — LOT 3.01  
(TAX MAP SHEET 8)  
STATE HIGHWAY ROUTE 33  
TOWNSHIP OF MILLSTONE

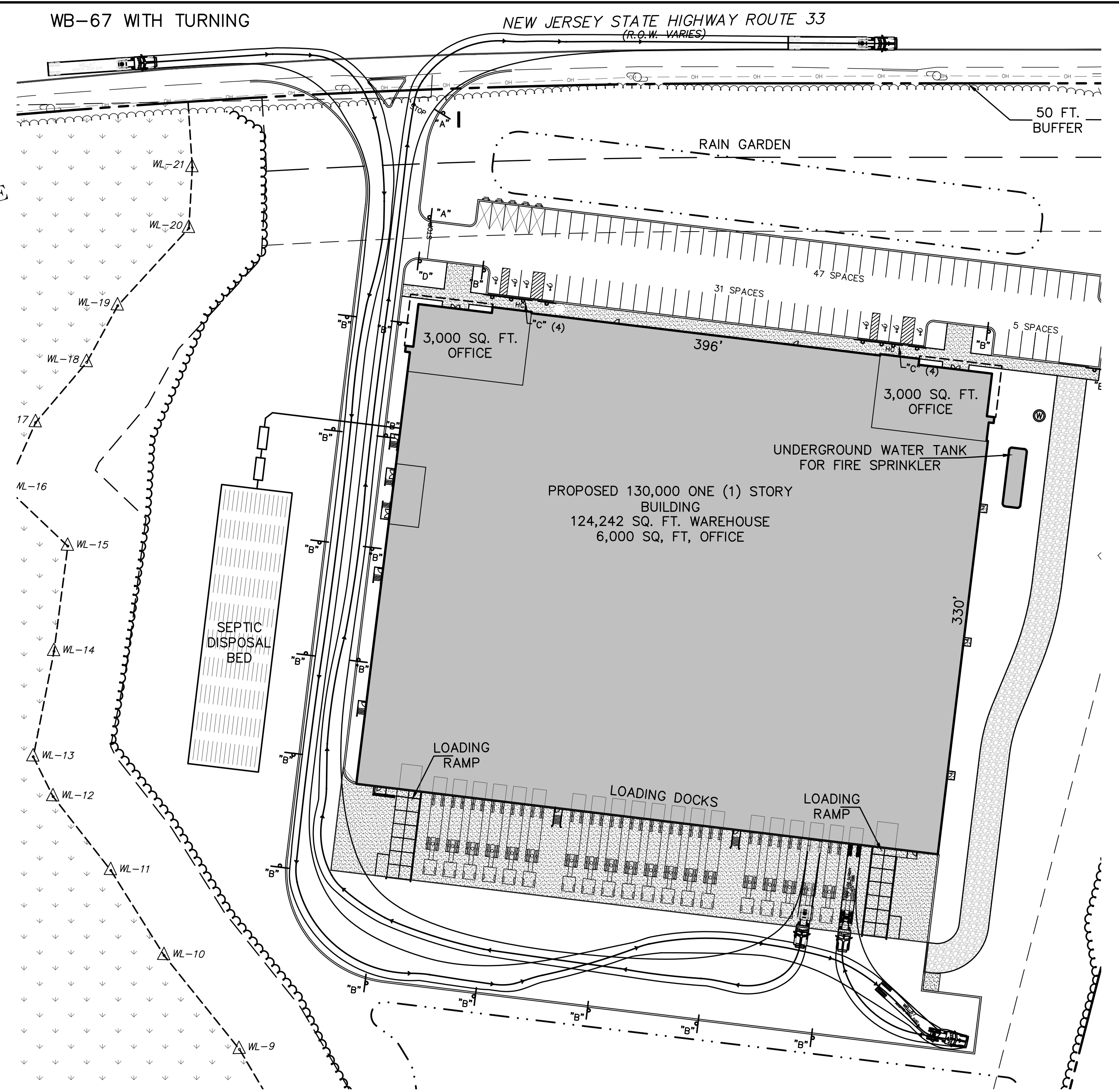
MONMOUTH COUNTY NEW JERSEY

SCALE: 1" = 50'	DATE: JULY 7, 2021	JOB NUMBER: 321645	SHEET 2
DRAWN BY: SDC	DESIGNED BY: IMB	CHECKED BY: WAS	20



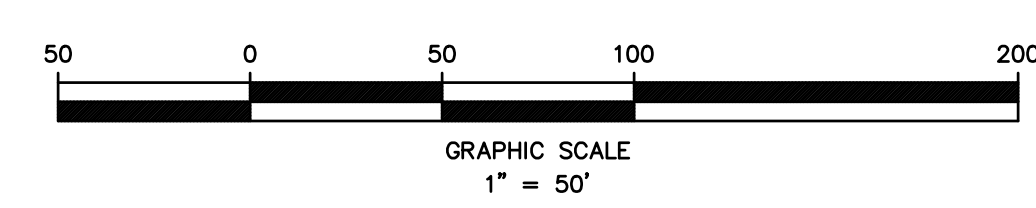


WB-50 CIRCULATION PLAN



WB-67 CIRCULATION PLAN

- LEGEND**
- EXISTING EDGE OF PAVEMENT
  - EXISTING CURB
  - EXISTING DEPRESSED CURB
  - PROPOSED CURB
  - PROPOSED DEPRESSED CURB
  - EXISTING WOODLINE
  - PROPOSED WOODLINE
  - PROPOSED PAINTED STOP BAR
  - PROPOSED HANDICAP RAMP
  - PROPOSED OVERHEAD DOOR
  - PROPOSED BUILDING I.D. SIGN
  - PROPOSED STOP BAR
  - PROPOSED 4" PAINTED YELLOW LINE
  - PROPOSED RETAINING WALL
  - PROPOSED FENCE
  - FRESHWATER WETLANDS
  - C-1 BUFFER
  - CONCRETE
  - PROPOSED STOP SIGN
  - PROPOSED NO PARKING / FIRE LANE SIGN
  - PROPOSED HANDICAP PARKING SIGN
  - NO TRUCK ACCESS SIGN



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**PRELIMINARY & FINAL MAJOR SITE PLAN**  
**TRAFFIC CIRCULATION PLAN**  
 OF  
**BLOCK 23 - LOT 3.01**  
 (TAX MAP SHEET 8)  
 STATE HIGHWAY ROUTE 33  
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